



GREEN VALLEY INSPECTIONS INC

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RESIDENTIAL INSPECTION

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Faryaneh Kashef
09/25/2025



Inspector

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1: INFORMATION/OVERVIEW

Information

Information/Overview

Informational

****PLEASE READ ALL****

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

In order for you to receive the full value of this inspection, please read all of the information we have provided.

1) Repair Items - The item, component or unit was inspected/tested, and is not functioning as intended. Repair or replacement is needed by a qualified specialist.

2) <Maintenance Items - Primarily comprised of small cosmetic items and simple handyman or do-it-yourself maintenance items. These observations are more informational in nature and represent more of a future to-do list rather than something you might use as a negotiation or Seller-repair item. Most items typically fall into this category.

3) Health and Safety Concerns - This category is composed of safety and or health concerns or items that could represent a significant expense to repair or replace.

ALL ITEMS IN RED PRINT ARE OF CONCERN TO HEALTH AND SAFETY OF THIS STRUCTURE AND SHOULD BE FURTHER EVALUATED BEFORE THE CLOSE IN ESCROW. HOWEVER, THE ENTIRE REPORT MUST BE READ FOR FULL DISCLOSURE, AS OTHER ITEMS WRITTEN IN THE REPORT MAY REQUIRE FURTHER EVALUATION AS DEEMED BY THE OPINION OF THE READER. IF A FURTHER EVALUATION IS NOT PERFORMED AND ADDITIONAL DEFECTS ARE FOUND AFTER THE CONTINGENCY PERIOD HAS EXPIRED, THEN ANY DISPUTES OR CLAIMS AGAINST THE INSPECTION WILL BE DENIED. SIMPLY PUT, IF YOU DO NOT FOLLOW THE ADVICE IN THIS REPORT, THEN YOU CANNOT HOLD THE INSPECTOR OR THE INSPECTION REPORT LIABLE AFTER YOU MOVE INTO THE INSPECTED STRUCTURE OR PROPERTY.

General: Notes

Note: California has seasonable rains which occur at the end and the beginning of each calendar year. Occasionally, the rainfall is exceptionally high. This is called an El Nino year. In recent years Southern California has been going through a drought. During drought periods many conditions visible following rains do not appear. The duty of a home inspector is to disclose visible conditions. If a condition is not visible it cannot be reported.

Note: Read the [Standards of Practice](#) set forth by the InterNational Association of Certified Home Inspectors for an insight into the scope of the inspection

Notice to Third Parties: This report is copyright protected. This report is the exclusive property of Green Valley Inspections and the Client(s) listed above and is not transferable to any third parties or subsequent buyers. Our Inspection and this report have been performed with a written contract agreement that limits its scope and usefulness. Unauthorized recipients are therefore advised not to rely upon this report, but rather to retain the services of an appropriately qualified property inspector of their choice to provide them with their own inspection and report. Liability under this report is limited to the party identified on the cover page of this report.

Note: **The client is advised that a mold inspection / testing be performed by a qualified specialist if any evidence of past or current water leaks (plumbing, roof, intrusion or otherwise) are reported by the inspector**

General: About Thermal Imaging Note: A Thermal Imaging camera may be used as a means of evaluating certain suspect issues or systems. Any anomalies found are always verified by other means such as a moisture meter. Moisture must be present for infrared thermography to locate its existence. During dry times a leak may still be present but undetectable if materials have no moisture present. Thermal Imaging is not X-ray vision, cannot see through walls and cannot detect mold.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair. For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects.

Houses/structures built between 1965 and 1974 have the possibility of aluminum wiring present throughout structure. It is recommend that a licensed electrician further evaluate houses built in this era for aluminum wiring.

Houses/structures with galvanized or cast iron plumbing present are highly recommended to be further evaluated by a plumbing contractor regardless of the age of the plumbing

Houses/structures built prior to 1978 can contain asbestos materials. It is recommend that a licensed asbestos contractor/inspector further evaluate houses/structures built in this era for asbestos materials. The Home Inspector will not determine or include in the report if asbestos is present at any structure or in any materials at a structure.*

Houses/structures built prior to 1982 can contain lead paint. It is recommend that a licensed lead inspector further evaluate houses/structures built in this era for lead paint materials.*

Asbestos , formaldehyde, radon, lead paint, Chinese drywall, poria and all other toxic items of concern cannot be identified as toxic and/or dangerous with this inspection report. Your inspector is not certified to identify any of these toxic or dangerous items and will not include any information on them in this report. It's recommended the client have the property tested by a certified expert in these areas, in all cases.

Lateral Sewer Line Camera Inspection: Underground drains cannot be viewed by the Inspector and can often have internal issues that do not reveal themselves during the home inspection. We highly advise you to have a sewer camera inspection prior to the release of inspection contingencies.

Note that this report is a snapshot in time and not a prediction of future conditions. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide. Conditions can change at any time during escrow time periods. You are 100% responsible for verifying all conditions prior to close of escrow.

PHOTOS - Can represent one or more areas. As the comment may detail a specific area or areas. Photos are in the report to provide a visual aid not a definite . They are used to help see what the inspector sees. If report says one or more areas make sure that whom ever may be doing repairs or the work checks to make sure what needs to be corrected or done. They person or company making the corrections may also find underlying issues that were not present at the time of the inspection.

THIS REPORT IS NON-TRANSFERABLE TO ANOTHER PARTY, NO EXCEPTIONS

2: INSPECTION DETAILS

Information

Client Information

Faryaneh Kashef
faryanehkashef@gmail.com

In Attendance

Client, Buyers Agent

Occupancy

Furnished, Vacant

Type of Building

Single Family, Attached Garage

Weather Conditions

Clear, Dry

Temperature (approximate)

78 Fahrenheit (F)

Home Orientation

West

Home Square Footage

2462

Year Built

1974

Check for permits

Check for permits

Recommend checking with the jurisdiction for permits for upgrades, additions or changes to equipment in the property

3: GROUNDS

Information

Driveway & Walkways: Driveway Material

Concrete

Driveway & Walkways: Walkway Good

Walkway was in good condition for age and wear.

Driveway & Walkways: Walkway Material

Concrete

Main Gas Valve: Gas Meter Location

North

Main Gas Valve: No gas odors detected

Meter located at exterior. All gas appliances have cut-off valves in line at each unit. No gas odors detected.

Plumbing: Functional

Plumbing was functional at the time of the inspection

Plumbing: Plumbing Material

Copper

Plumbing: Sewer Cleanout Location

West

Plumbing: Main Water Shut Off Location

At the street

Plumbing: Secondary Water Shut Off Location

West

Water pressure and Regulator: Pressure Regulator Location

None

Water pressure and Regulator: Water Pressure

70

Water pressure and Regulator: No Pressure Regulator

No pressure regulator was present

Exterior Faucets: Functional

Exterior faucets appeared operational at time of inspection.

Vegetation: Maintenance Tip:

Maintenance Tip: When landscaping, keep plants, even at full growth, at least a foot (preferably 18 inches) from house siding and windows. Keep trees away from foundation and roof. Plants in contact or proximity to home can provide pathways for wood destroying insects, as well as abrade and damage siding, screens and roofs.

Electrical: GFCI Resets

Local

Gates, Fences and Walls : Gate Material

Wood

Gates, Fences and Walls : Fence / Functional

The fence/wall is in good condition.

Gates, Fences and Walls : Fence Material

Wood, Vinyl

Grading: Lot grading

Lot grading and drainage have a significant impact on the building, simply because of the direct and indirect damage that moisture can have on the foundation. It is very important, therefore, that surface runoff water be adequately diverted away from the home. Lot grading should slope away and fall a minimum of one (1) inch every foot for a distance of six (6) feet around the perimeter of the building.

Porch/Patio Slab: Functional

Appeared functional at time of inspection.

Grounds Inspection Overview:

Overview

The driveway and exterior concrete surfaces around the home were walked and inspected for surface deterioration, trip hazards, poor slope or drainage and any general areas of concern.

The surface grading and drainage was inspected to determine if areas exist that will adversely affect the home.

Grounds visible plumbing was plumbing was tested at the fixtures.

Electrical was inspected and tested.

A home inspection is not a pest/WDO inspection, we do not poke/prod any wood surfaces as that would be considered destructive. We recommend every home get a WDO/Pest inspection.

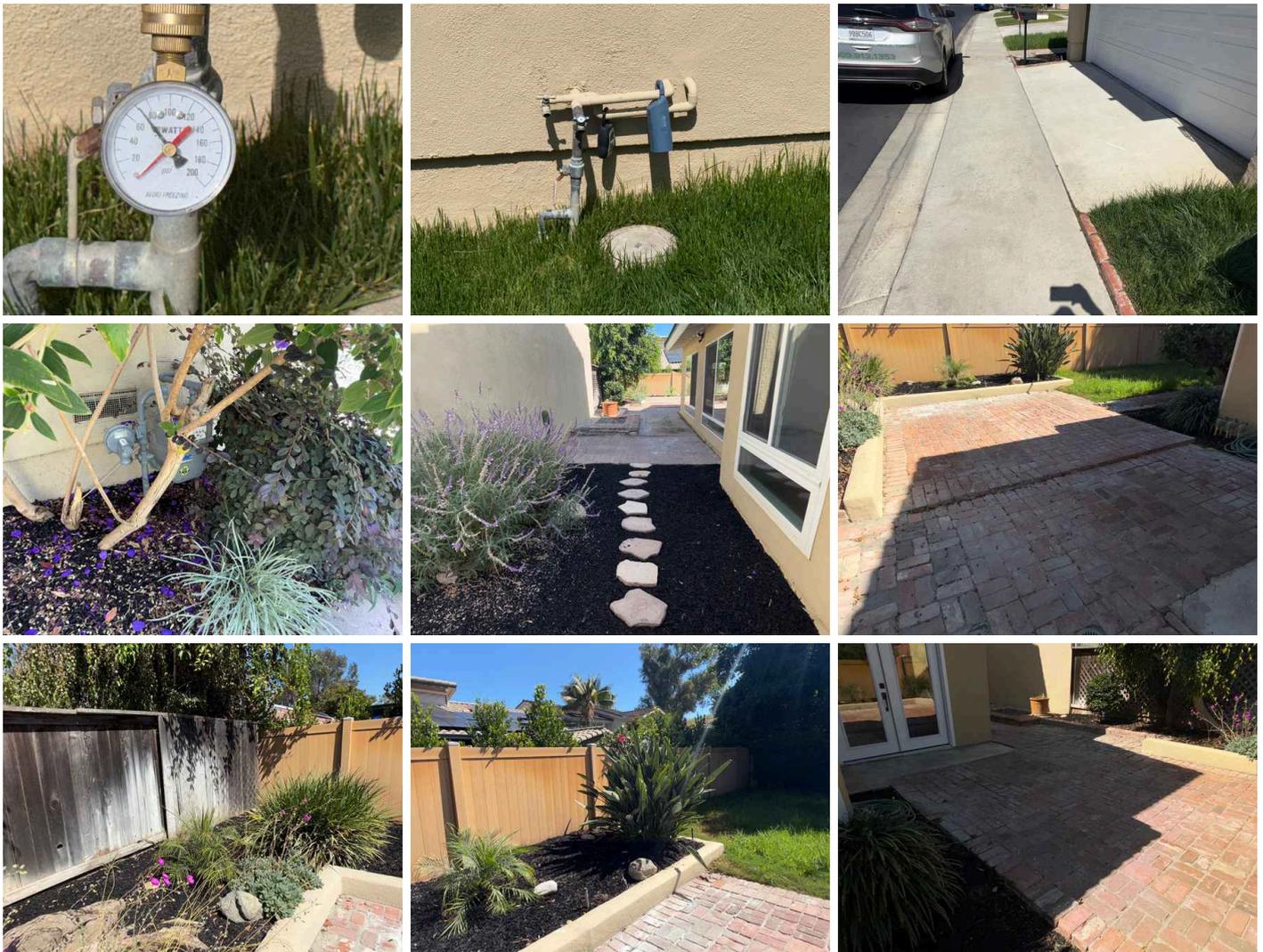
General Maintenance Recommendations:

The outside of the home should be routinely checked. Exteriors need regular maintenance to stay sealed against the weather. There can be hidden damage when the exterior is not sealed or is poorly finished, damaged or decayed. Heavy vegetation should be kept trimmed since it can cause or hide damage.

General Photos

General Photos

The following photos document the general condition of the grounds area. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.





Observations

3.1.1 Driveway & Walkways

MINOR DRIVEWAY CRACKING



Minor cracking was observed in the concrete driveway. These small cracks are typical and often result from normal wear, settling, or weather exposure. While they do not appear to pose a significant concern at this time, periodic monitoring is recommended to ensure they do not worsen or develop into larger issues

Recommendation

Contact a qualified concrete contractor.



3.6.1 Vegetation

PRUNE



Vegetation was observed in contact with the home. This condition can trap moisture, promote pest intrusion, and potentially cause damage to the siding or structure over time. It is recommended to trim back or remove the vegetation to maintain proper clearance and protect the home.

Recommendation

Contact a qualified landscaping contractor



3.7.1 Electrical

GFCI UNRESPONSIVE

The GFCI outlet was found to be unresponsive during testing and did not reset or provide power as intended. This condition may indicate a malfunction or internal damage to the outlet. It is recommended to have the GFCI outlet inspected and replaced by a licensed electrician to restore functionality and ensure safety.

Recommendation

Contact a qualified electrical contractor.



3.7.2 Electrical

DAMAGED CONDUIT

Damaged electrical conduit was observed. This condition can expose wiring to physical damage, moisture, or environmental elements, increasing the risk of electrical failure or safety hazards. It is recommended to have the damaged conduit inspected and repaired or replaced by a licensed electrician to ensure proper protection and compliance with electrical standards.

Recommendation

Contact a qualified professional.



3.7.3 Electrical

**NO POWER AT OUTLET**

An outlet was found to have no power at the time of inspection. This condition may be caused by loose wiring, a disconnected circuit, or a defective outlet.

It is recommended to have the outlet inspected and repaired by a licensed electrician to identify and address the cause of the issue. Ensuring proper function of all outlets is important for safety and usability.

Recommendation

Contact a qualified professional.



3.7.4 Electrical

**IMPROPER WIRING CONDUIT**

Flexible metal conduit was observed installed on the home's exterior; this type of conduit is not rated for outdoor exposure and is subject to corrosion and damage. Replacement with an exterior-rated conduit by a licensed electrician is recommended.

Recommendation

Contact a qualified professional.



3.8.1 Gates, Fences and Walls

**GATE HARDWARE**

Damaged or missing hardware was observed on the gate. This condition may affect the gate's functionality, security, and ease of operation. It is recommended to have the hardware repaired or replaced by a qualified professional to restore proper functionality and ensure the gate operates as intended.

Recommendation

Contact a qualified professional.



3.9.1 Grading

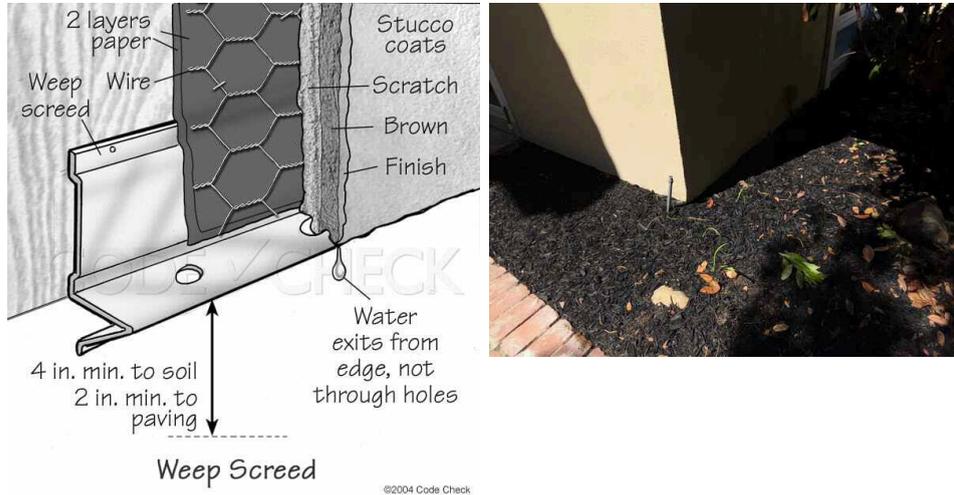


GRADE AT STUCCO

The soil was observed to be covering the weep screed at the base of the stucco wall. This condition can trap moisture against the wall, potentially leading to stucco damage, wood rot, or pest intrusion. It is recommended to lower the soil level to expose the weep screed and maintain proper clearance to allow for adequate drainage and ventilation.

Recommendation

Contact a qualified landscaping contractor



4: EXTERIOR

Information

Windows: Functional

Components appeared in satisfactory condition at time of inspection.

Eaves, Soffits & Fascia: Functional

No major system safety or function concerns noted at time of inspection. Recommend pest inspection.

Siding, Flashing & Trim: Stucco Good

Stucco appeared in satisfactory condition at time of inspection.

Siding, Flashing & Trim: Siding Material

Stucco

Wall Condition: Functional

No major system safety or function concerns noted at time of inspection.

Exterior Inspection Overview:

Overview

A visual inspection of the exterior surfaces was performed around the home to include the exterior surface material, sot/fascia surfaces and other exterior surface areas.

The exterior wall covering, trim, and ashing were visually inspected for concerns related to installation, paint/stain condition, damage and general maintenance issues.

The exterior of the windows were visually inspected for signs of cracked glass, damaged screens, caulking around edges and seams, paint or nish deterioration, and general concerns.

[A home inspection is not a pest/WDO inspection, we do not poke/prod any wood surfaces as that would be considered destructive. We recommend every home get a WDO/Pest inspection.](#)

General Photos

General Photos

The following photos document the general condition of the exterior envelope. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.





Observations

4.4.1 Paint

SEALING/CAULKINGRecommendation / Maintenance

The exterior of the home has areas where sealing or caulking is missing, deteriorated, or insufficient, which may allow moisture intrusion, air leaks, or pest entry. It is recommended to apply fresh, high-quality exterior-grade caulking to all gaps, joints, and seams to protect the structure and improve energy efficiency. Regular inspections and maintenance of exterior caulking are advised to ensure the home's integrity and longevity.

Recommendation

Contact a handyman or DIY project



5: ELECTRICAL

Information

Service Entrance Conductors: Functional

No major system or functional concerns noted at time of inspection at main panel box.

Service Entrance Conductors: Electrical Service Conductors

Below Ground

Main Service Panel: Main Panel Location

North

Main Service Panel: Panel Capacity

100 AMP

Main Service Panel: Panel Manufacturer

General Electric

Breakers / Fuses : Copper non- metallic

Copper non-metallic sheathed cable noted.

Breakers / Fuses : Aluminum non- metallic

Aluminum non-metallic sheathed cable noted.

Electrical System Inspection Overview:

Overview

The electrical system and components in the home were inspected to include the following:

- The services entrance wiring and main electrical disconnect, including noting the location of the main shut off.

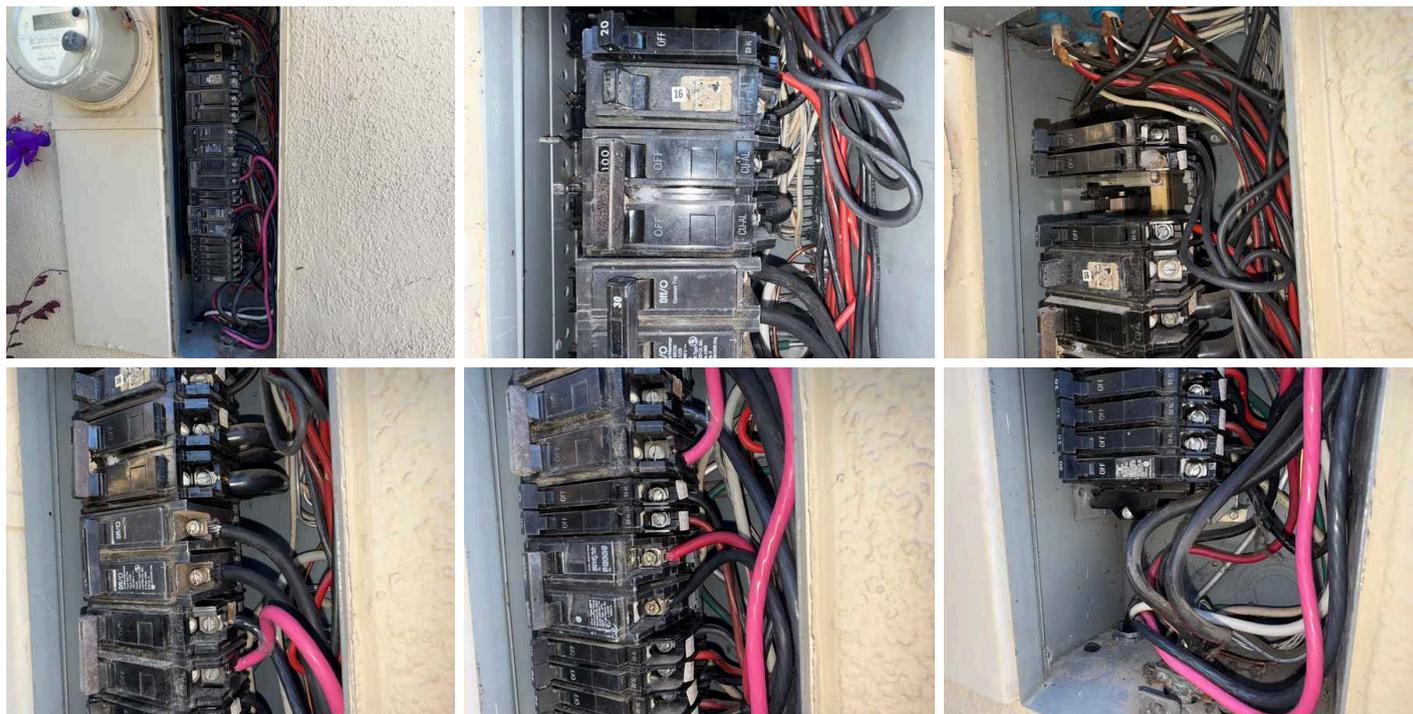
- Inspection of the main electrical panel and wiring.

Low voltage wiring systems, built-in audio systems, and any alarm systems present are outside the scope of a home inspection and are not tested.

General Photos

General Photos

The following photos document the general condition of the Electrical panels and components . These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.





Observations

5.2.1 Main Service Panel

OPEN COVER SLOT

 Immediate Action Needed

The electrical panel has open cover slots, leaving internal components exposed and increasing the risk of accidental contact, debris entry, or pest intrusion. It is recommended to install appropriate filler plates or covers to seal the open slots and restore the panel's safety and integrity.

Recommendation

Contact a qualified professional.



5.2.2 Main Service Panel

**ALUMINUM SOLID STRAND WIRE**

The inspector found old technology solid aluminum branch wiring in this house. This wiring, usually installed during the 1960s to mid-1970s can be problematic in both performance and for insurance coverage purposes. Devices connected directly to aluminum wire that are not CO-ALR or CU-AL type may have possible overheating issues. We recommend that the aluminum wired devices be inspected and repaired as necessary by an electrician familiar with aluminum wire repairs. We also recommend that you research with various electricians the cost for this investigation/repair prior to the end of the inspection contingency period.

Recommendation

Contact a qualified professional.



5.2.3 Main Service Panel

**TRIMMED CIRCUIT**

The branch circuit conductor has been improperly trimmed to fit the breaker lug, which compromises the conductor and creates a potential safety hazard; evaluation and correction by a licensed electrician is recommended.

Recommendation

Contact a qualified professional.



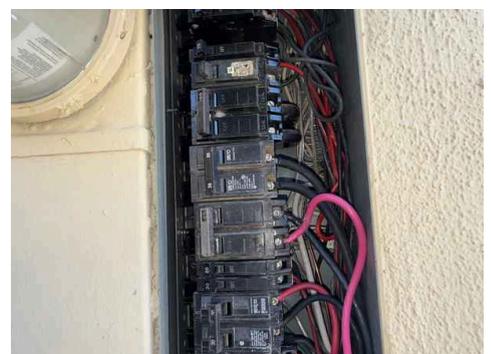
5.3.1 Breakers / Fuses

**MULTIPLE MANUFACTURERS**

Observed multiple breakers from different manufacturers installed in the electrical panel. Electrical panels are typically designed for use with specific breaker types and manufacturers, as indicated by the panel's labeling. Using incompatible breakers can lead to poor connections, overheating, or other safety concerns. Recommend evaluation by a licensed electrician to confirm compatibility and replace any breakers as necessary to ensure safe and proper operation.

Recommendation

Contact a qualified electrical contractor.



6: GARAGE

Information

Walls & Firewalls: Functional

No major system safety or functional concerns noted at time of inspection for accessible sections of the walls.

Ceiling: Functional

Visible areas of the rafters/ceiling appeared in satisfactory condition at time of inspection

Ceiling: Ceiling/Structure Type

Drywall

Floor: Covering

Bare Concrete

Garage Door: Material

Metal, Insulated

Garage Door: Type

Roll-Up

Electrical: GFCI Resets

None

Exterior Door: Functional

Appeared satisfactory and functional at time of inspection.

Garage Ventilation : Wall Vents noted

Wall vents were in satisfactory condition

Garage Inspection Overview:

Overview

The garage was inspected to include the interior surfaces, garage doors, electrical systems present, and overall general condition including:

Garage ceiling, walls, floors, doors, and windows including the door to the house for fire safety.

The main garage doors were tested and operated, including testing any automatic openers.

Electrical outlets and components are inspected and tested.

The garage door is the largest moving object in the home. It can cause severe injury if it malfunctions, and should be checked monthly. As a part of our inspection process, we will test the auto-reverse sensors for the garage door opener.

We do not test the down pressure setting on the door to determine if the door will reverse when met with resistance, as this can cause damage to the door if the down pressure setting is not properly set. However, this is a safety feature that should also be checked periodically. It is recommended that you test the down pressure setting on the garage door upon move-in, following the door opener manufacturer's specific testing procedure.

General Photos

General Photos

The following photos document the general condition of the garage interior. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



Observations

6.3.1 Floor

CRACKING

Cracking visible in the garage floor. Recommend repairs

Recommendation

Contact a qualified structural engineer.



6.4.1 Garage Door

**PANEL DAMAGE**

Garage door panel is damaged and may need repair/replacement. Recommend a qualified garage door contractor evaluate.

Recommendation

Contact a qualified garage door contractor.



6.5.1 Electrical

**NON-GFCI PROTECTED OUTLET**

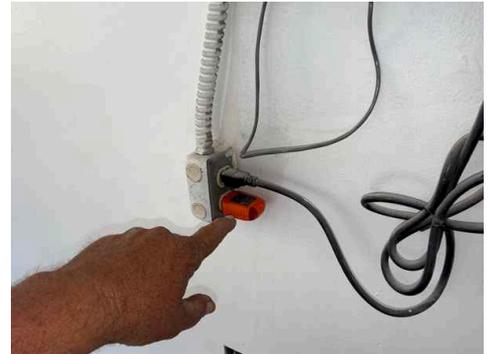
A non-GFCI (Ground Fault Circuit Interrupter) protected outlet was observed in a location where GFCI protection is required. GFCI protection is designed to reduce the risk of electrical shock in areas prone to moisture or water exposure by interrupting the circuit when a ground fault is detected.

Recommendation:

It is recommended to have the outlet upgraded to include GFCI protection by a licensed electrician to enhance safety and comply with current electrical standards.

Recommendation

Contact a qualified electrical contractor.



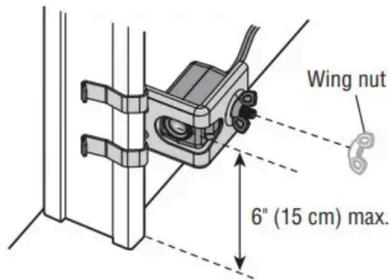
6.6.1 Garage Door Opener

AUTO REVERSE SENSORS MOUNTED TOO HIGH

The auto-reverse sensors for the garage door opener are mounted too high, which may prevent them from effectively detecting smaller objects or individuals in the door's path. This poses a safety hazard and may not comply with safety standards. It is recommended to lower the sensors to the manufacturer-specified height, typically 4 to 6 inches above the ground, to ensure proper functionality and safety.

Recommendation

Contact a qualified professional.



6.8.1 Occupant Door (From garage to inside of home)

NOT SELF-CLOSING

Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.

[DIY Resource Link.](#)

Recommendation

Contact a qualified door repair/installation contractor.



7: ROOF

Information

Inspection Method

Drone

Roof Type/Style

Gable

Roof General

General

Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of roofs.

Coverings: Material

Tile

Flashings: Functional

Flashing in good condition

Chimneys : Functional

No major system safety or function concerns noted at time of inspection.

Vent Caps : Vent caps in place and in satisfactory condition.

Vent caps in place and in satisfactory condition.

Roofing Inspection Overview

Overview

The roof system, gutters-downspouts , plumbing vents, chimney and vent caps were inspected where components were fully accessible.

The roofing material was inspected for concerns with wear and age, potential hail damage or other damage, and any flashing or roof penetration concerns.

Gutters and downspouts were inspected to ensure proper drainage away from the home and foundation.

Metal flue pipes and chimneys were visually inspected for physical condition and flashing concerns.

The condition of the underlayment is concealed and not visible during the roof inspection.

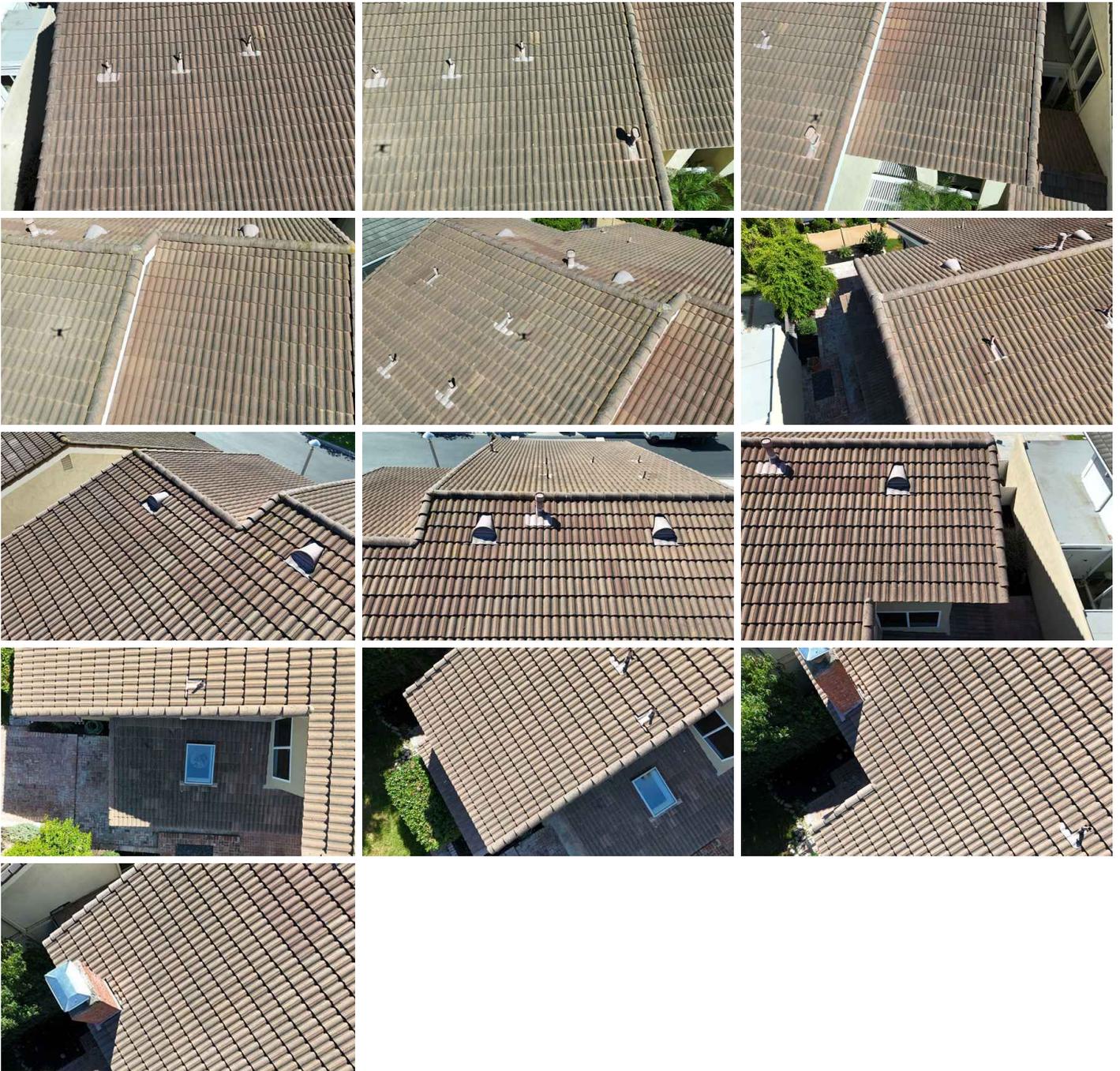
The roof inspection is not intended to predict how long the roof will last or if it will leak, and is not a warranty. All roofs should be inspected annually in order to detect and address concerns to ensure the roof will perform for the typical life span. Expect to make minor repairs to any roof.

General Photos

General Photos

The following photos document the general condition of the roof covering. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.





Observations

7.1.1 Coverings



TILES CRACKED/BROKEN

Broken or cracked tiles were observed on the roof. It's important to note that additional damaged tiles may be present but not visible in the provided photos. We recommend further evaluation by a licensed roofing contractor to assess the full extent of the damage and perform any necessary repairs to maintain the roof's integrity and prevent potential water intrusion

Recommendation

Contact a qualified roofing professional.



8: HEAT/AIR CONDITIONER

Information

AC Condenser: Functional

Appeared functional at the time of inspection.

AC Condenser: Condenser

Location

North Side

AC Condenser: Manufacture

Goodman

AC Condenser: Manufacture Date

2018

AC Condenser: Refrigerant Type

R-410A

Heater(s): Functional

Appeared functional at the time of inspection.

Heater(s): Location

Interior Closet

Heater(s): Heater Type

Gas Fired Forced Heat, Split System

Heater(s): Manufacture

Goodman

Heater(s): Manufacture Date

2015

Heater Base: The heater base was in good condition

The heater base was in good condition

Condensation Drains : Functional

Visible portions on the drain line appear in good condition.

Enclosure : Satisfactory

Enclosure appeared in satisfactory condition at time of inspection

Venting: Vent Material

Double Wall B Vent

Gas Valves : Functional

Gas shut off valves were present and functional.

Air Return Box: Functional.

The return air supply system appears to be functional.

Filters: Location

Heater Cabinet

Filters: Maintenance

The air filter(s) should be inspected at least monthly and cleaned or replaced as required. There are two types of filters commonly used: (1) Washable filters, (constructed of aluminum mesh, foam, or reinforced fibers) these may be cleaned by soaking in mild detergent and rinsing with water. Or (2) Fiberglass disposable filters that must be REPLACED before they become clogged. Remember that dirty filters are the most common cause of inadequate heating or cooling performance.

Thermostat : Functional

Functional at the time of inspection.

Thermostat : Location

Hallway

Heating System Inspection Overview:

Overview

The heating system for the home was visually inspected and tested including the following:

- Turning on the system at the operating control and ensuring the system operated and heat was delivered from the system.

- Opening readily accessible panels to visually inspect the system.

- Inspecting the venting system, flues and chimneys, where present.

Regular service of the HVAC system is important for efficient operation and to achieve maximum life from equipment;

equipment can fail at any time without warning; most manufacturers recommend annual service.

General Photos

General Photos

The following photos document the general condition of the HVAC system . These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



Manufacture Year

2018

Details

Manufacturer: Goodman
S/N: 1807071709
M/N: GSX140601KD

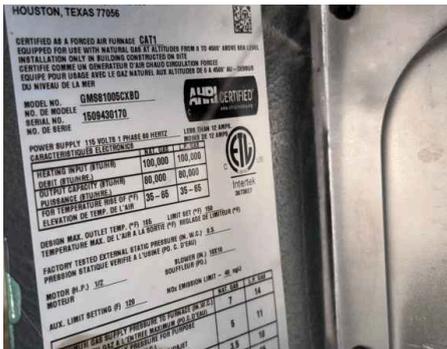
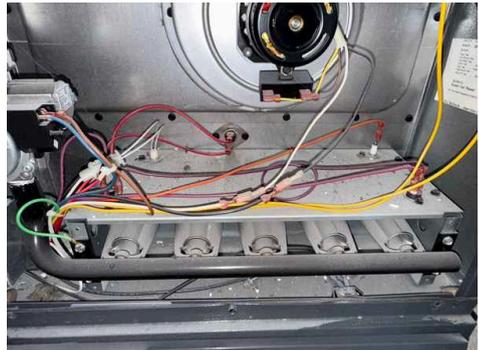
Refrigerant
R-410A

Typical Lifespan
15-20 years

Est. Life Remaining
~13 years left

AI Analysis
Confidence: High

Notes: The manufacturer is Goodman. Used the YYMM format for Goodman serial numbers. The first two digits '18' indicate the year 2018, and the next two digits '07' indicate the 7th month (July).



Manufacture Year

2015

Details

Manufacturer: Goodman
S/N: 1509430170
M/N: GMS81005CXBD

Typical Lifespan
15-20 years

Est. Life Remaining
~10 years left

AI Analysis
Confidence: High

Notes: Manufacturer inferred as Goodman from the model number format. Used the YYMM format for Goodman serial numbers. The first two digits '15' represent the year 2015, and the next two digits '09' represent the 9th month (September).





Observations

8.2.1 Refrigerant Line

DAMAGED INSULATION



Insulation on the air-conditioning suction (large, insulated) line was damaged or missing and should be replaced by a qualified HVAC contractor.

Recommendation

Contact a qualified professional.



8.3.1 Heater(s)

FUEL SERVICE



Fuel Furnace: Last service date is over one year ago, or is unable to be determined. Although this unit appears to be operating properly from controls, there are areas which cannot be seen without specialized equipment and training. One such area is the combustion chamber / heat exchanger where cold air blows across the "fire box", becoming the hot air that circulates throughout your home. During the life span of any furnace, this metal wall may develop a crack or a broken weld, allowing carbon monoxide to circulate throughout the home. This is why furnace specialists recommend a complete inspection annually; consider having unit inspected by certified HVAC technician.

Recommendation

Contact a qualified heating and cooling contractor

8.7.1 Venting

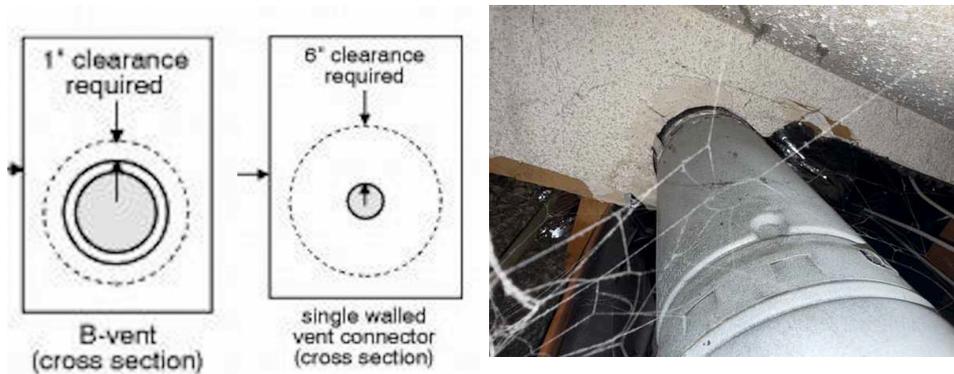
INADEQUATE CLEARANCE

Immediate Action Needed

Chimney flue/vent pipe has inadequate clearance to combustible materials. Proper spacing from the drywall or wood should be made. Repair as needed.

Recommendation

Contact a qualified professional.



8.10.1 Registers

IMPROPER USE OF WALL AND CEILING CAVITIES AS DUCT CHASES

Repair Items

The older two-story home is using wall and ceiling cavities of the first floor as supply/return duct chases for the HVAC system; this type of installation is outdated, inefficient, and may contribute to air quality and energy loss issues. Evaluation by a licensed HVAC contractor is recommended.

Recommendation

Contact a qualified professional.



8.11.1 Filters

MISSING HOLD DOWN BAR

Repair Items

The filter inside the unit was missing the bar that holds down the filter. Recommend installing a hold down bar.

Recommendation

Contact a qualified professional.



9: WATER HEATER

Information

Location

Garage

Manufacture

Rheem

Manufacture Date

Unknown

Water Heater Size

Unknown

Fuel Source

Natural Gas

Water Heater Condition: Functional

No major system, safety or functional concerns noted at time of inspection.

Combustion Chamber: Satisfactory

The combustion chamber appears to be in functional condition.

Venting: Functional.

The visible portions of the vent pipes appeared functional.

Venting: Vent Material

Single Wall, Double Wall B Vent

Plumbing: Satisfactory

No deficiencies observed at the visible portions of the supply piping.

Plumbing: Pipe Material

Copper

Overflow Line: Satisfactory

Temperature Pressure Release (TPR) valve and discharge pipe -- functional and in satisfactory condition.

Overflow Line: Material

Copper

Water Heater Inspection Overview

Overview

The water heater inspection was a review of the general condition which also includes:

Connection plumbing, vent condition, TPRV and overflow line, combustion chamber, strapping, base and pans, expansion tanks

General Photos

General Photos

The following photos document the general condition of the water heater if applicable. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



Limitations

Water Heater Condition

LIMITED VIEW/ WRAPPED

Unable to fully inspect water heater due to tank wrapping. Recommend removing and inspecting.

Observations

9.2.1 Base

MISSING PAN PIPE



The catch pan beneath the water heater is missing its drain pipe. The drain pipe is essential for directing water safely away in the event of a leak or overflow, helping to prevent water damage to surrounding areas. Recommend installing a proper drain pipe to the catch pan by a qualified professional to ensure functionality and safety.

Recommendation

Contact a qualified professional.



9.6.1 Gas Valves

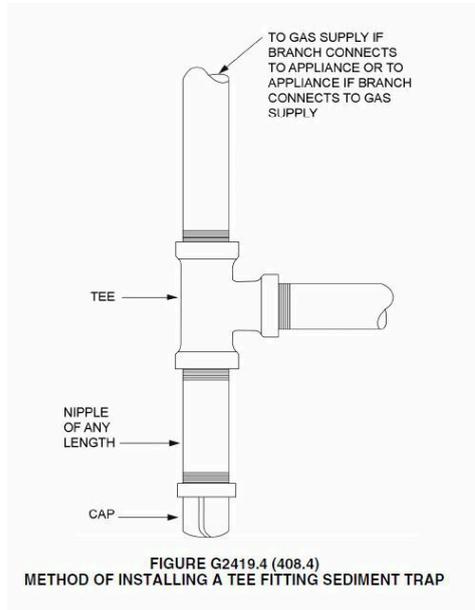


NO SEDIMENT TRAP

No sediment trap was present. Recommend a licensed HVAC specialist install a proper drip leg.

Recommendation

Contact a qualified professional.



sediment trap example

9.9.1 Strapping



BACKER BLOCKS MISSING

The water heater was missing the backer blocks between the tank and wall. Recommend installing.

Recommendation

Contact a qualified professional.



10: KITCHEN

Information

Cabinets: Functional

Appeared functional and in satisfactory condition at time of inspection.

Counter Tops: Functional

The counter top was in good condition at time of inspection

Counter Tops: Material

Solid Surface

Dishwasher: Functional

Operated and functional.

Dishwasher: Dishwasher Manufacture

Zline

Plumbing: Functional

Plumbing appeared in satisfactory condition at time of inspection

Plumbing: Supply Material

Copper

Plumbing: Drain Material

ABS

Built-in Microwave: Functional

Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.

Built-in Microwave: Microwave Manufacture

Z Line

Electrical: No major system safety or function concerns

No major system safety or function concerns noted at time of inspection.

Electrical: GFCI Functional

GFCI receptacles are in good condition.

Electrical: GFCI Resets

Local

Garbage Disposal: Functional

Operated - appeared functional at time of inspection.

Sinks: Functional

Appeared functional and in satisfactory condition at time of inspection.

Venting: Functional

Vent in place and operational

Range/Oven/Cooktop:

Range/Oven Energy Source

Gas

Range/Oven/Cooktop: Range/Oven Brand

Z Line

Floors: Functional

The Floor was in good condition

Floors: Floor Coverings

Laminate

Walls: Satisfactory

The walls were in satisfactory condition

Walls: Wall Material

Drywall

Ceilings: Functional

The ceiling was in good condition

Ceilings: Ceiling Material

Drywall

Kitchen Inspection Overview

Overview

General Appliance Inspection/Testing Note

The appliances we noted as being inspected are all turned on and run, to ensure that they operate. The testing done is general in nature, and not exhaustive. We do not verify appliance thermostats including their calibration, adequacy of heating elements, self cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, ice-maker production, and other specialized features of the appliances. Note that if the occupant has dishes in the dishwasher or

clothes in the washer or dryer, we do not operate them and will note the limitation in our ability to completely inspect and test these units. Appliances present and are not moved for inspection - limited inspection of walls, floors, cabinet areas covered by appliances.

Refrigerators Not Inspected

Refrigerators are not included in a Home Inspection as they are considered transient, "unattached" items. They are also not moved to look at the condition of the floor under them, or the cabinetry around them. Therefore their water line and power receptacle are not visible and excluded from this inspection. If the refrigerator is a concern, we recommend having it evaluated by an appliance repair company or other qualified person prior to closing.

Appliances That Appear Older Than 10 or 15 years

Recommend budgeting for replacements on any kitchen appliances that appear to be near, at, or beyond their intended service life of 10 to 15 years.

General Photos

General Photos

The following photos document the general condition of the kitchen. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



Observations

10.10.1 Range/Oven/Cooktop

IRREGULAR FLAME

Irregular flame. Recommend service.

Recommendation

Contact a qualified professional.



11: BATHROOM 1

Information

General: Location

1st Floor Guest Bath

Counter Tops: Functional

The counter top was in good condition at time of inspection

Counter Tops: Material

Solid Surface

Cabinets: Functional

Appeared functional and in satisfactory condition at time of inspection.

Sinks: Functional

Appeared functional and in satisfactory condition at time of inspection.

Plumbing: Functional

Plumbing appeared in satisfactory condition at time of inspection

Plumbing: Supply Material

Copper

Plumbing: Drain Material

ABS

Electrical: No major system safety or function concerns

No major system safety or function concerns noted at time of inspection.

Electrical: GFCI Functional

GFCI receptacles are in good condition.

Electrical: GFCI Resets

Local

Exhaust Vent: Functional

The bath fan was operational at time of inspection

Toilet: Functional

Operated when tested.

Shower: Functional

Functional at time of inspection

Shower/Tub Walls: Material

Tile

Shower Enclosure: Functional

The shower enclosure was functional at the time of the inspection.

Floors: Floor Coverings

Tile

Doors: Functional

Doors were in good condition

Walls: Satisfactory

The walls were in good condition

Walls: Wall Material

Drywall

Ceilings: Satisfactory

The ceiling was in good condition

Ceilings: Ceiling Material

Drywall

OBSERVATIONS AND RECOMMENDATIONS:: Bathroom Inspection Overview

Overview

Bathroom inspections includes running all water, hot and cold, visual of all plumbing, electrical testing, floors, walls, ceilings and enclosures

General Bathroom 1 Photos: General Photos

General Photos

The following photos document the general condition of the Bathroom 1. These photos reect areas that have no existing concerns at this time. Areas with a specic concern or defect are noted separately, referencing the specic issue and area of concern.



Observations

11.10.1 Shower/Tub Walls

**CRACKING/DAMAGED GROUT**

Cracking and/or damaged grout was observed in the shower area. Compromised grout can allow water to penetrate behind tiles, potentially leading to moisture intrusion, damage to the underlying substrate, or mold growth.

:

It is recommended to regrout the affected areas to restore a watertight seal. This should be performed by a qualified contractor to prevent further deterioration and potential water-related damage. Additionally, adjacent areas should be inspected for any signs of underlying moisture issues.

Recommendation

Contact a qualified professional.



12: BATHROOM 2

Information

General: Location

Primary Bath

Counter Tops: Functional

The counter top was in good condition at time of inspection

Counter Tops: Material

Solid Surface

Cabinets: Functional

Appeared functional and in satisfactory condition at time of inspection.

Sinks: Functional

Appeared functional and in satisfactory condition at time of inspection.

Plumbing: Functional

Plumbing appeared in satisfactory condition at time of inspection

Plumbing: Supply Material

Copper

Plumbing: Drain Material

ABS

Electrical: No major system safety or function concerns

No major system safety or function concerns noted at time of inspection.

Electrical: GFCI Functional

GFCI receptacles are in good condition.

Electrical: GFCI Resets

Local

Exhaust Vent: None - Window

Shower: Functional

Functional at time of inspection

Shower/Tub Walls: Satisfactory

The shower walls were in satisfactory condition

Shower/Tub Walls: Material

Tile

Shower Enclosure: Functional

The shower enclosure was functional at the time of the inspection.

Floors: Functional

The Floor was in good condition

Floors: Floor Coverings

Tile

Doors: Functional

Doors were in good condition

Windows: Functional

Windows are in good condition

Windows: Window Type

Sliders

Walls: Satisfactory

The walls were in good condition

Walls: Wall Material

Drywall

Ceilings: Satisfactory

The ceiling was in good condition

Ceilings: Ceiling Material

Drywall

OBSERVATIONS AND RECOMMENDATIONS:: Bathroom Inspection Overview

Overview

Bathroom inspections includes running all water, hot and cold, visual of all plumbing, electrical testing, floors, walls, ceilings and enclosures

General Bathroom 2 Photos: General Photos

General Photos

The following photos document the general condition of the Bathroom 1. These photos reect areas that have no existing concerns at this time. Areas with a specic concern or defect are noted separately, referencing the specic issue and area of concern.



13: BATHROOM 3

Information

General: Location

2nd Floor Guest Bath

Counter Tops: Functional

The counter top was in good condition at time of inspection

Counter Tops: Material

Solid Surface

Cabinets: Functional

Appeared functional and in satisfactory condition at time of inspection.

Sinks: Functional

Appeared functional and in satisfactory condition at time of inspection.

Plumbing: Functional

Plumbing appeared in satisfactory condition at time of inspection

Plumbing: Supply Material

Copper

Plumbing: Drain Material

ABS

Electrical: No major system safety or function concerns

No major system safety or function concerns noted at time of inspection.

Electrical: GFCI Functional

GFCI receptacles are in good condition.

Electrical: GFCI Resets

Local

Exhaust Vent: None - Window

Bath Tub: Functional

Functional and in good condition

Bath Tub: Material

Fiberglass

Bath Tub: Whirlpool GFCI Reset Location

N/A

Shower: Functional

Functional at time of inspection

Shower/Tub Walls: Satisfactory

The shower walls were in satisfactory condition

Shower/Tub Walls: Material

Tile

Shower Enclosure: Functional

The shower enclosure was functional at the time of the inspection.

Floors: Functional

The Floor was in good condition

Floors: Floor Coverings

Tile

Doors: Functional

Doors were in good condition

Windows: Functional

Windows are in good condition

Windows: Window Type

Sliders

Walls: Satisfactory

The walls were in good condition

Walls: Wall Material

Drywall

Ceilings: Satisfactory

The ceiling was in good condition

Ceilings: Ceiling Material

Drywall

OBSERVATIONS AND RECOMMENDATIONS:: Bathroom Inspection Overview

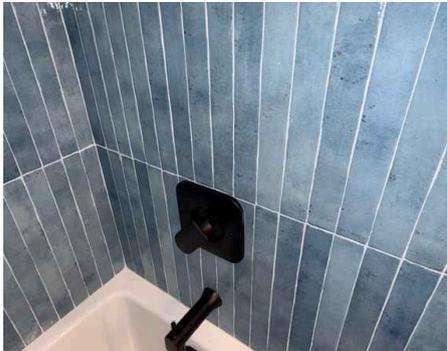
Overview

Bathroom inspections includes running all water, hot and cold, visual of all plumbing, electrical testing, floors, walls, ceilings and enclosures

General Photos

General Photos

The following photos document the general condition of the Bathroom 1. These photos reect areas that have no existing concerns at this time. Areas with a specic concern or defect are noted separately, referencing the specic issue and area of concern.



14: BEDROOMS

Information

Ceiling Fans : Functional

Operated normally when tested at time of inspection.

Closets: Satisfactory

The closet is in serviceable condition.

Doors: Functional

Doors were in good condition

Floors: Functional

The Floor was in satisfactory condition

Floors: Floor Coverings

Laminate

Electrical: No major system safety or function concerns

No major system safety or function concerns noted at time of inspection.

Smoke Detectors: Functional

The smoke detectors operated during the inspection.

Walls: Satisfactory

The walls were in satisfactory condition

Walls: Wall Material

Drywall

Ceilings: Satisfactory

The ceiling was in good condition

Ceilings: Ceiling Material

Drywall

Windows: Functional

Windows are in good condition

Windows: Window Type

Sliders

Bedroom Inspection Overview

Overview

An inspection of the interior surfaces was performed throughout the home to include visually inspecting the ceilings, walls, floors, doors and windows of each room. Every effort is made to inspect all interior areas but we can't move occupant furniture or belongings.

Doors were operated and tested for proper operation including whether the door rubs, latches engage, and the general condition of doors.

Windows were tested and operated on a representative number, including looking for cracked glass, broken thermal seals, and latch/lock operation. While we operate window blinds in order to access the windows to operate and inspect them, the overall condition of window coverings and treatments is outside the scope of a home inspection.

General Photos

General Photos

The following photos document the general condition of the bedrooms. These photos reect areas that have no existing concerns at this time. Areas with a specic concern or defect are noted separately, referencing the specic issue and area of concern.



Observations

14.9.1 Doors/Patio Doors

DAMAGED SCREEN

Sliding door screen is damaged. Recommend replacing the door screen.

Recommendation

Contact a qualified professional.



15: INTERIOR AREAS

Information

Closets: Satisfactory

The closet is in serviceable condition.

Doors: Functional

Doors were in good condition

Electrical: No major system safety or function concerns

No major system safety or function concerns noted at time of inspection.

Floors: Functional

The Floor was in satisfactory condition

Floors: Floor Coverings

Laminate

Smoke Detectors: Functional

The smoke detectors operated during the inspection.

Walls: Satisfactory

The walls were in good condition

Walls: Wall Material

Drywall

Ceilings: Satisfactory

The ceiling was in good condition

Ceilings: Ceiling Material

Drywall

Windows: Window Type

Single-hung

Doors/Patio Doors: Patio Door Functional

The patio door was functional during the inspection.

Fireplace: Functional

Functional and in satisfactory condition at time of inspection

Interior Inspection Overview

Overview

An inspection of the interior surfaces was performed throughout the home to include visually inspecting the ceilings, walls, floors, doors and windows of each room. Every effort is made to inspect all interior areas but we can't move occupant furniture or belongings.

Doors were operated and tested for proper operation including whether the door rubs, latches engage, and the general condition of doors.

Windows were tested and operated on a representative number, including looking for cracked glass, broken thermal seals, and latch/lock operation. While we operate window blinds in order to access the windows to operate and inspect them, the overall condition of window coverings and treatments is outside the scope of a home inspection.

Countertops and a representative number of cabinets were inspected and tested.

Steps and stair railings were inspected for any safety concerns.

Smoke Detectors

Generally-accepted current safety standards recommend smoke detectors be installed in the following locations:

- In the immediate vicinity of the bedrooms

- In all bedrooms

- In each story of a dwelling unit, including basements and cellars, but not including crawl spaces and uninhabitable attics.

In residential units of 1,200 square feet or more, automatic fire detectors, in the form of smoke detectors shall be provided for each 1,200 square feet of area or part thereof.

Any smoke detector located within 20 feet of a kitchen or bedroom containing a tub or shower must be a photoelectric type.

Carbon Monoxide (CO) Alarms

Since CO is colorless, tasteless and odorless (unlike smoke from a fire), detection and prevention of carbon monoxide poisoning in a home environment is impossible without a warning device. In North America, some state, provincial and municipal governments require installation of CO detectors in new units - among them, the U.S. states of Illinois, Massachusetts, Minnesota, New Jersey, and Vermont, the Canadian province of Ontario, and New York City.

According to the 2005 edition of the carbon monoxide guidelines, NFPA 720, published by the National Fire Protection Association, sections 5.1.1.1 and 5.1.1.2, all CO detectors shall be centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms, and each detector 'shall be located on the wall, ceiling or other location as specified in the installation instructions that accompany the unit.

In addition:

CO alarms should not be installed directly above or beside fuel-burning appliances, as appliances may emit a small amount of carbon monoxide upon start-up, creating false alarms.

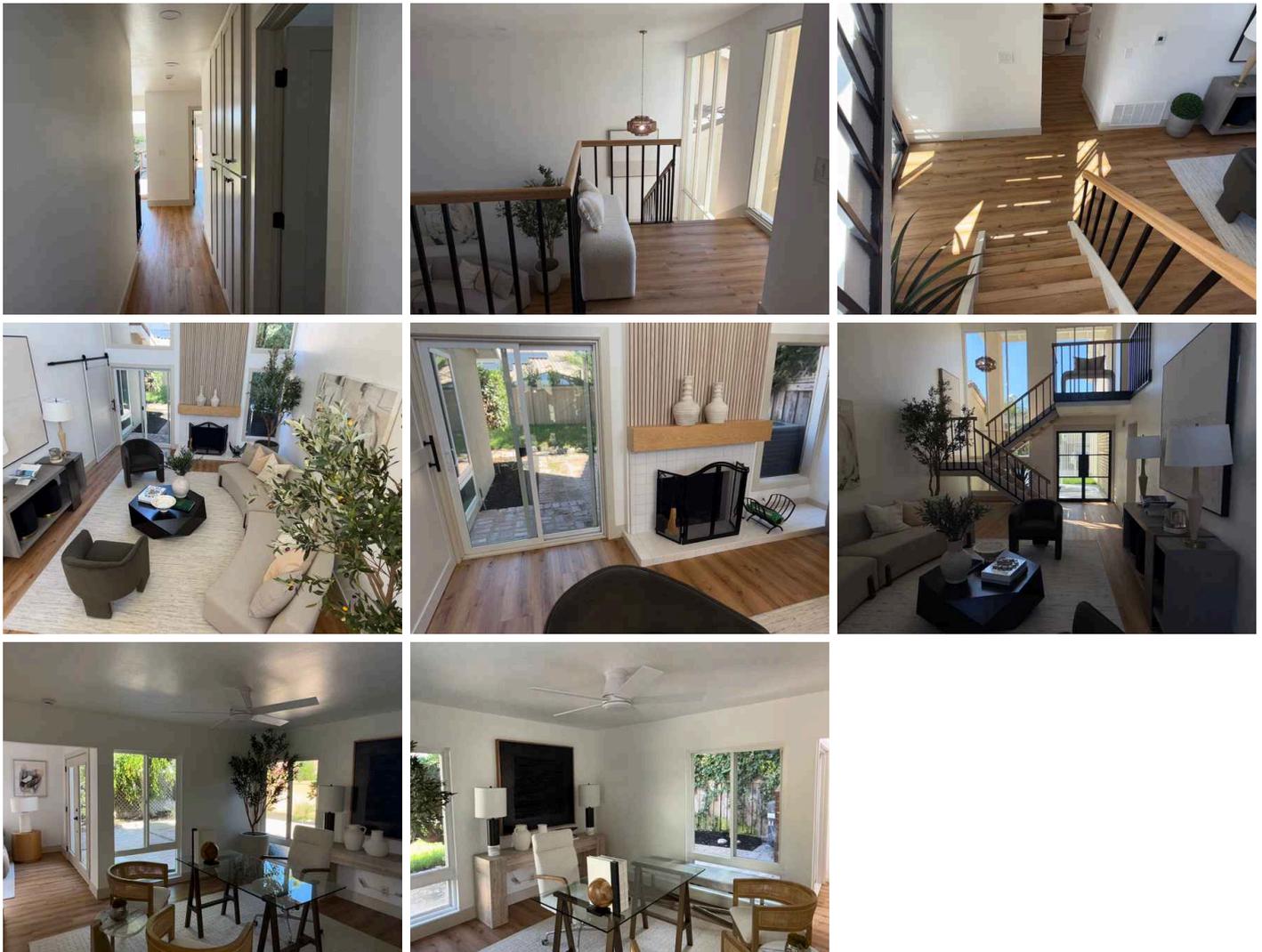
A detector should not be placed within fifteen feet of heating or cooking appliances or in or near very humid areas such as bathrooms.

Installation locations vary by manufacturer. Manufacturers' recommendations differ to a certain degree based on research conducted with each one's specific detector. Inspectors will typically have no way of knowing the Manufacturers' recommendations and should limit comments to the (educated) obvious.

General Photos

General Photos

The following photos document the general condition of the interior area. These photos rect areas that have no existing concerns at this time. Areas with a specic concern or defect are noted separately, referencing the specic issue and area of concern.



Limitations

Door bell

RING DOORBELL

Ring doorbell is beyond the scope of the inspection.

Electrical

SOME OUTLETS WERE INACCESSIBLE

Please note that one or more electrical outlets were either obstructed or in use, preventing testing. As a result, these outlets could not be tested

Walls

SOME AREAS BLOCKED

Access to some of the walls were restricted due to personal items, which limited the ability to fully inspect for potential defects or issues. Recommend clearing obstructions to allow for a visual evaluation.

Observations

15.11.1 Windows

WINDOW DID NOT LATCH

One or more windows did not lock/latch properly, recommend repairs for enhanced security/safety to occupants.

Recommendation

Contact a qualified professional.



15.13.1 Fireplace

LEVEL II INSPECTION

Level II inspection—The National Fire Protection Association (www.nfpa.org) advises that each chimney receive a Level II inspection each time a residence is sold. Inspection levels are explained at www.csia.org/pressroom/press-inspection-levels-explained.htm. It is also advised that this inspection be conducted by a chimney sweep certified by the Chimney Safety Institute of America (www.csia.org).

Recommendation

Contact a qualified professional.



15.15.1 Stairs

MISSING HANDRAILS

Missing handrails Recommend installing

Recommendation

Contact a qualified professional.

 Immediate Action Needed



16: LAUNDRY ROOM

Information

Plumbing: Functional

Plumbing appeared in satisfactory condition at time of inspection

Plumbing: Supply Material

Copper

Plumbing: Drain Material

ABS

Electrical: Satisfactory

No major system safety or function concerns

Electrical: GFCI Resets

None

Dryer Exhaust : Satisfactory

The dryer vent appears to be in good condition

Floors: Functional

The Floor was in satisfactory condition

Floors: Floor Coverings

Laminate

Walls: Satisfactory

The walls were in good condition

Walls: Wall Material

Drywall

Ceilings: Satisfactory

The ceiling was in good condition

Ceilings: Ceiling Material

Drywall

Laundry Room Photos

General Photos

The following photos document the general condition of the laundry room . These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



17: ATTIC

Information

Access location: Access Location 2nd floor hallway	Access location: Inspection Method From Hatch	Roof Structure: Satisfactory Structure appears to be in good condition
Roof Structure: Type Dimensional Lumber	Ventilation: Vent Screens Functional Vent screens noted as functional.	Ventilation: Ventilation Type Gable Vents
Ducts: Satisfactory Visible portions of the duct work appears to be in good condition. Some portions were not visible.		
Attic Insulation: Insulation Type Loose-fill	Attic Insulation: Typical for age Insulation level in the attic is typical for homes this age	Attic Insulation: Insulation Thickness 4-6 Inches
Attic Plumbing: Satisfactory No deficiencies noted in accessible/visible plumbing systems		
Attic Plumbing: Plumbing Supply Material N/A	Attic Plumbing: Plumbing Drain Material ABS	Mechanical Exhaust: Satisfactory Mechanical ventilation was functional

OBSERVATIONS AND RECOMMENDATIONS:: Attic System Inspection Overview

Overview

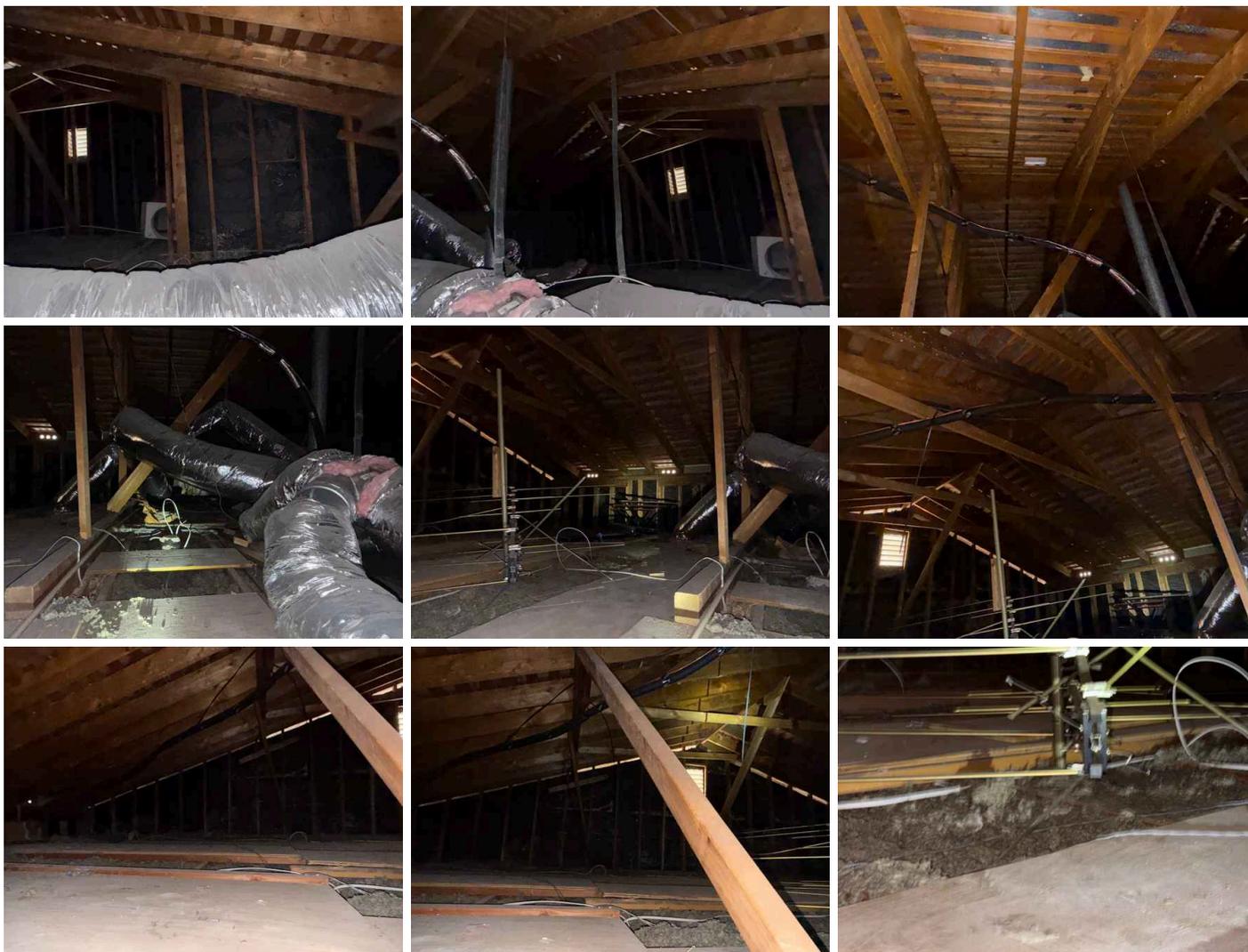
Attics and all related components are inspected visually from an area that does not put either the inspector or the home at risk. The method of inspection is at the sole discretion of the inspector and depends on a number of factors including, but not limited to, accessibility, clearances, insulation levels, stored items, temperature, etc. Inspectors will access the attic if possible, but most attics are unfinished and outside the living space of the home. Many attics are too dangerous to fully enter or are not accessible due to house structure. Hidden attic damage is always possible, and no attic can be fully evaluated at the time of the inspection.

A home inspection is not a pest/WDO inspection, we do not poke/prod any wood surfaces as that would be considered destructive. We recommend every home get a WDO/Pest inspection.

General Attic Photos: General Attic Photos

General Photos

The following photos document the general condition of the attic and its components. These photos reflect areas that have no existing concerns at this time. Areas with a specific concern or defect are noted separately, referencing the specific issue and area of concern.



Limitations

Attic Electrical

MOST AREAS NOT ACCESSIBLE

Most areas not accessible due to insulation.

Observations

17.5.1 Attic Insulation

LOWER THAN OPTIMAL

The insulation level is lower than optimal. Recommend contacting an insulation specialist for estimate to add insulation

Recommendation

Contact a qualified professional.

 Recommendation / Maintenance

18: SLAB FOUNDATION

Information

Foundation Type: Foundation

Type

Slab

Foundation Type: Satisfactory

No deficiencies were observed at the visible portions of the structural components of the home.

General Photos

General Photos

The following photos document the general condition of the Foundation. These photos reect areas that have no existing concerns at this time. Areas with a specic concern or defect are noted separately, referencing the specic issue and area of concern.

Limitations

Foundation Type

NOT VISIBLE

Concrete slab not visible due to floor coverings.